

KANE COUNTY DEVELOPMENT DEPARTMENT
Subdivision and Zoning Division, Kane County Government Center
719 Batavia Avenue
Geneva, Illinois 60134
Office (630) 232-3492 Fax: (630) 232-3411

Received Date
4554

ZONING MAP AMENDMENT APPLICATION

Instructions:

To request a map amendment (rezoning) for a property, complete this application and submit it with all required attachments to the Subdivision and Zoning Division.

When the application is complete, we will begin the review process.

The information you provide must be complete and accurate. If you have a question please call the subdivision and zoning division, and we will be happy to assist you.

1. Property Information:	Parcel Numbers: 08-17-200-027; 08-17-200-017
	Street Address (or common location if no address is assigned): 43W126 Empire Road St. Charles, IL 60175

2. Applicant Information:	Name Development Properties, Inc. John A. Thornhill, President	Phone 630-584-3303
	Address 44 White Oak Circle, St. Charles, IL 60174-4165	Fax 630-584-3303
		Email JATLDC@sbcglobal.net

3. Owners of record information:	Name Logan and Susan Wilding	Phone 630-762-8104 (M)
	Address 45N955 Castle Drive St. Charles, IL 60174-8296	Fax
		E mail loganwilding@gmail.com

Zoning and Use Information:

2040 Plan Land Use Designation of the property: Countryside/Estate Residential.

Current zoning of the property: F District-Farming.

Current use of the property: Garage building remains from former residence.

Proposed zoning of the property: E1 District-Estate

Proposed use of the property: Single-family residence for petitioners

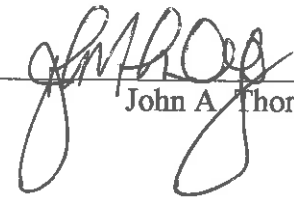
If the proposed Map Amendment is approved, what improvements or construction is planned?
One single-family residence with new waste water treatment system and related infrastructure.

Attachment Checklist

- Site Development Plan (See Exhibit "B" attached).
- Legal description (See Exhibit "A" attached).
- Completed Land Use Opinion application (Available in pdf form at www.kanedupageswed.org/luo.pdf), as required by state law, mailed to: The Kane DuPage Soil and Water Conservation District, 545 S. Randall Road, St. Charles, IL 60174.
- Endangered Species Consultation Agency Action Report (available in pdf form at www.dnr.state.il.us/orep/nrrc/aar.htm) to be filed with the Illinois Department of Natural Resources.
- List of record owners of all property adjacent & adjoining to subject property
- Aerial (air photo) with property clearly highlighted contact: (See Exhibit "C" attached)
~~The Sidwell Co., 2570 Foxfield Road, Ste. 300, Saint Charles, IL 60174 (630) 549-1080~~
- Trust Disclosure (If applicable)
- Findings of Fact Sheet
- Application fee (make check payable to Kane County Development Department) = \$1125.00

We certify that this application and the documents submitted with it are true and correct to the best of our knowledge and belief.

Record Owner:   6-3-20
 Logan Wilding Susan Wilding Date

Applicant and/or authorized agent:  6/3/20
 John A. Thornhill Date

Findings of Fact Sheet – Rezoning

- *The Kane County Zoning Board is required to make findings of fact when considering a rezoning. (map amendment)*
- *You should “make your case” by explaining specifically how your proposed rezoning relates to each of the following factors.*

Wilding Rezoning to E1 District
Name of Development/Applicant

June 3, 2020
Date

1. How does your proposed use relate to the existing uses of property within the general area of the property in question?

This rezoning will allow a new residence to be constructed on the same site where a residence existed a few years ago and would not be inconsistent with the present or surrounding land uses.

2. What are the zoning classifications of properties in the general area of the property in question?

F District-Farming is in the area to the north, to the east is a Special Use for a kennel, Residential PUDs are south, and R1 and E3 are to the southwest.

3. How does the suitability of the property in question relate to the uses permitted under the existing zoning classification?

The petitioners’ property is a wooded 18-acre parcel on which a prior residence was located but had not been lived in for many years. The residence, which did not comply with current flood plain regulations, was destroyed by fire a number of years ago. This rezoning of a portion of the property will accommodate the configuration of a fully compliant zoning lot on which the petitioner’s intend to construct their residence. The remaining 12 acres will be treated as open space in the F District.

4. What is the trend of development, if any, in the general area of the property in question?

There has been no perceptible development in the immediate area, except for residential west of the subject property in the Village of Lily Lake during the last 10-15 years.

5. How does the projected use of the property, relate to the Kane County 2040 Plan?

The proposed re-classification and use is compatible with the 2040 Plan which advocates Countryside/Estate Residential.

June 29, 2020

Logan Wilding, et ux
Rezoning from F-District Farming to E-1 District Estate Residential

Special Information: The petitioner is seeking a rezoning to bring the property back into conformance to allow a single family residence to be built. The new home would be constructed on the eastern portion of the property where the previous home had been located.

Analysis: The Kane County 2040 Land Resource Management Plan designates this area as Countryside Estate Residential. The Plan recommends establishing low-density criteria for future developments to preserve the character, wildlife base and natural features of these areas. The gross density should not generally exceed an average of one dwelling unit per four acres of land.

Staff recommended Findings of Fact:

1. The rezoning will allow a single family home to be built on the property.

Attachments: Location Map
 Township Map
 Petitioner's finding of fact sheet

EXHIBIT "A"

E1 District-Estate Wilding Property

That part of the Northeast Quarter of Section 17, Township 40 North, Range 7 East of the Third Principal Meridian described as follows: Commencing at a point on the east line of said Quarter that is 550.69 feet southerly of the northeast corner thereof; thence westerly at right angles to said east line 362.93 feet; thence southerly parallel with said east line 427.0 feet for a point of beginning; thence westerly at right angles to the last described course 200.0 feet; thence southerly parallel with said east line 270.0 feet; thence southwesterly along a line forming an angle of 135°00' with the last described course (measured counterclockwise therefrom) 301.90 feet to a line drawn parallel with and 414.0 feet westerly of said east line (measured along the center line of Empire Road); thence southerly along said parallel line 268.55 feet to the center line of Empire Road; thence easterly along said center line 414.0 feet to said east line; thence northerly along said east line 772.82 feet to the point of beginning (excepting therefrom that part thereof lying within 40.0 feet of said center line), in Campton Township, Kane county, Illinois and containing 5.010 acres.

Exhibit "C" - Wilding Property-KCGIS Aerial Photo



6/3/2020, 10:55:04 AM

1:4,514

0 0.03 0.04 0.06 0.09 0.11 mi
0 0.04 0.09 0.18 km

100 Year Flood
 A
 Townships
 Cadastrial Lines
 Parcel Line
 Parcel Line Leg Desc
 Pol Corp Line
 Sub Name 100
 Road Names
 Cadastrial Annotation (Subdivisions)
 Sub Name 100
 Road Centerline
 Water Line
 Road ROW
 Parcels
 Addresses
 Section Line
 Sub Line 100

Source: Esri, DigitalGlobe, GeoEye, Earthstar, Geographics, CNES/Airbus
 These layers do not represent a survey. No Accuracy is assumed for the data records, including plats, surveys, recorded deeds, and contracts, and only contains information required for local government purposes. See the recorded documents for more detailed legal information.

Exhibit 1B

Site Development Plan of
Logan & Susan Wilding Property
 Part of the Northeast Quarter of Section 17-40-7
 Campton Township Kane County Illinois

Notes:

- Topographic information derived from ASM Consultants, Inc. and COMPASS Surveying Ltd., as well as Kane County GIS sources.
- Wetland delineation and buffers determined from ENCAP Inc. report dated 1-30-2020.
- Soils information derived from Kane County Soil Survey and USDA / NRCS
- Subject Property to be re-zoned is part of Parcels 08-17-200-017 & 08-17-200-027

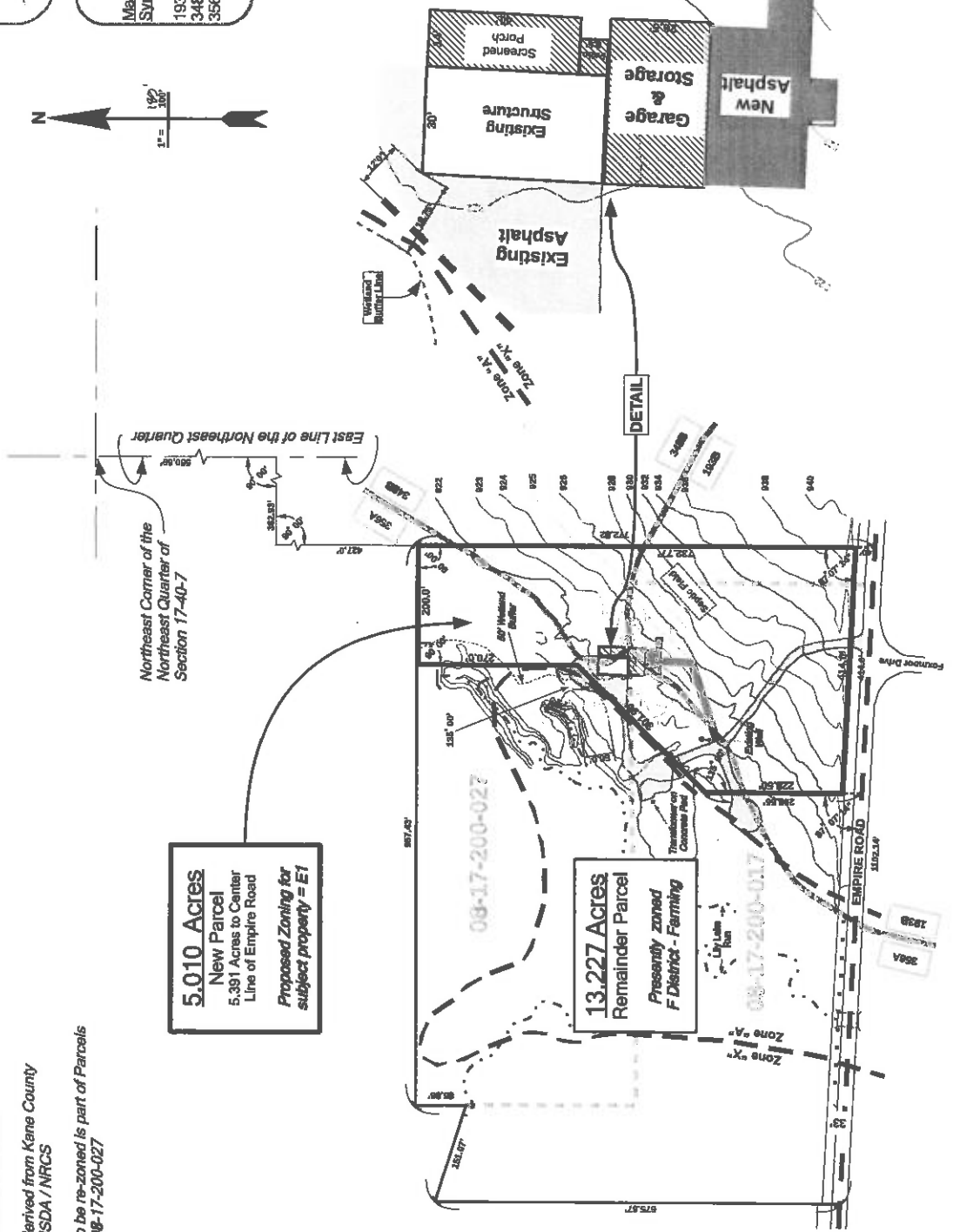
Legend

- Contour Line
- New Asphalt Drive
- Existing Asphalt Drive
- Wetland Flag
- Wetland Buffer

Soil Identification Legend.

Map Unit Description
 Symbol

- 193B Mayville silt loam, 2 - 5% slopes
- 348B Wingate silt loam, cool mesic, 2 - 5% slopes
- 356A Elpaso silty clay loam, 0 - 2% slopes



5.010 Acres
 New Parcel
 5,391 Acres to Center
 Line of Empire Road
 Proposed Zoning for
 subject property = E1

13.227 Acres
 Remainder Parcel
 Presently zoned
 F District - Farming

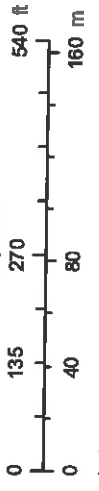
Prepared by:
Development Properties, Inc.
 44 White Oak Circle
 St Charles, IL, 60174
 6-2-2020

Map Title



June 15, 2020

1:2,886

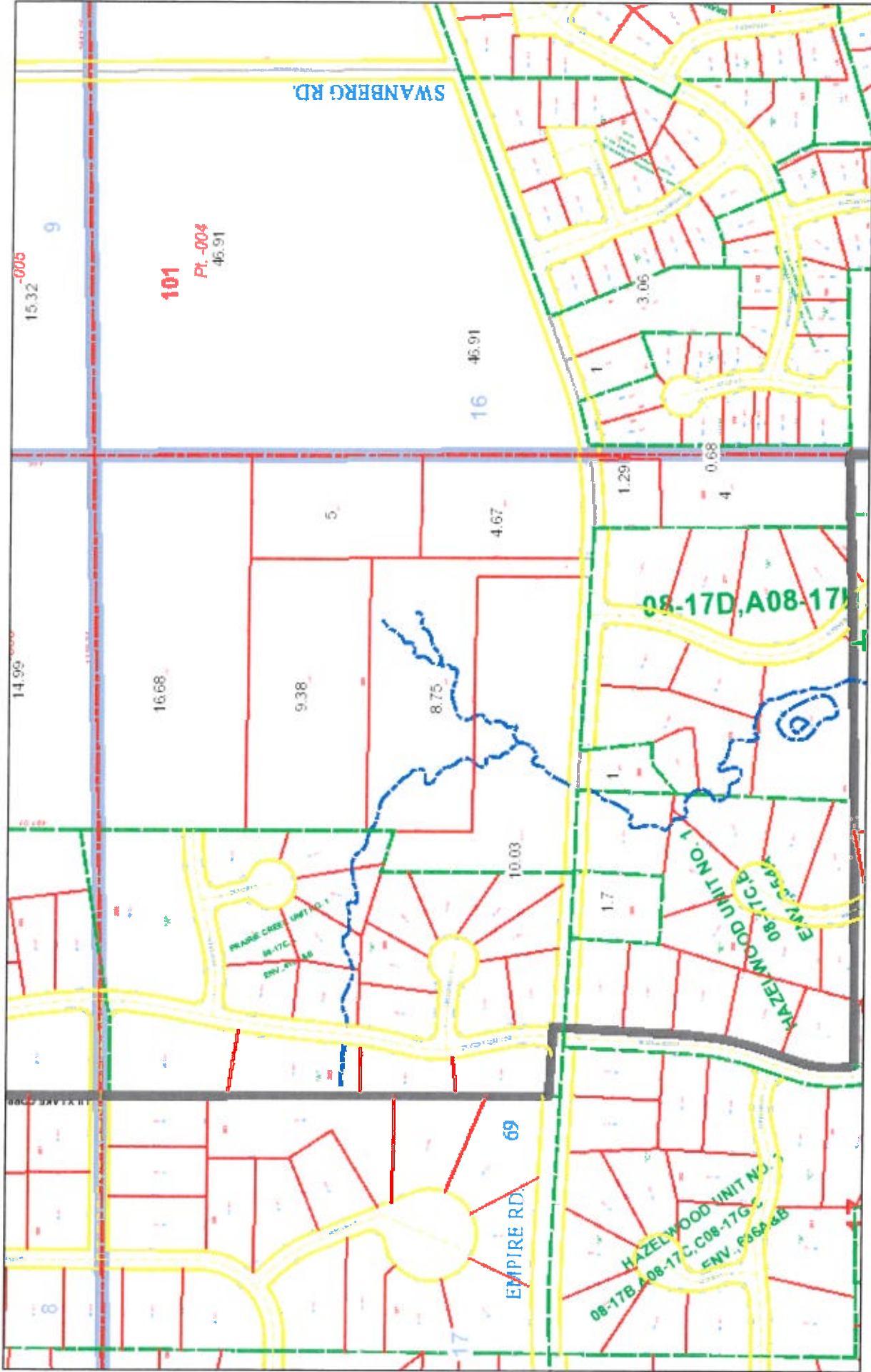


GIS-Technologies

These layers do not represent a survey. No Accuracy is assumed for the data delineated here, either expressed or implied by Kane County or its employees. These layers are compiled from official records, including plats, surveys, recorded deeds, and contracts, and only contains information required for local government purposes. See the recorded documents for more detailed legal information.

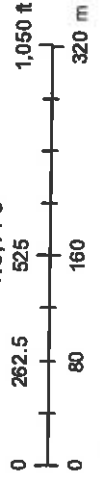
GIS-Technologies
Kane County Illinois

Map Title



June 15, 2020

1:5,773



GIS-Technologies

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GIS-Technologies
Kane County Illinois

Applicant: ENCAP, Inc.
Contact: Kathryn McMahon
Address: 2585 Wagner Court
DeKalb, IL 60115

IDNR Project Number: 2005692
Date: 01/22/2020
Alternate Number: 19-0916F

Project: 43W126 Empire Road
Address: 43W126 Empire Road, St Charles

Description: The proposed project includes improvements to the property that largely consist of the conversion of an existing structure into a single family residence.

Natural Resource Review Results

This project was submitted for information only. It is not a consultation under Part 1075.

The Illinois Natural Heritage Database shows the following protected resources may be in the vicinity of the project location:

Northern Harrier (*Circus cyaneus*)

Location

The applicant is responsible for the accuracy of the location submitted for the project.

County: Kane

Township, Range, Section:
40N, 7E, 17



IL Department of Natural Resources

Contact

Impact Assessment Section
217-785-5500
Division of Ecosystems & Environment

Disclaimer

The Illinois Natural Heritage Database cannot provide a conclusive statement on the presence, absence, or condition of natural resources in Illinois. This review reflects the information existing in the Database at the time of this inquiry, and should not be regarded as a final statement on the site being considered, nor should it be a substitute for detailed site surveys or field surveys required for environmental assessments. If additional protected resources are encountered during the project's implementation, compliance with applicable statutes and regulations is required.

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